

## ADDENDUM NO. 3

### Rowland Unified School District

### Alvarado Intermediate School Partial Modernization

HWA Proj. No.108RSD13

DSA No. 03-112358

The following changes, omissions, and/or additions to the Specifications and/or drawings shall apply to proposals made for and to the execution of the various parts of the Work affected thereby, and all other conditions shall remain the same.

Careful note of Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades affected shall be fully advised in the performance of the Work which will be required of them.

In case of conflict between Drawings, Specifications, and this Addendum, this Addendum shall govern.

### ADDM. ITEMS

#### GENERAL

1. All new exterior doors shall be hollow metal in lieu of solid core wood.
2. Modify existing walkway canopy soffit between Building AL and Building MP per attached drawing AD3-A1 and AD3-A2, dated April 6, 2011.
3. Contractor to provide "pot holing" and/or other investigation to locate and mark existing utilities and points or connections prior to installation of new work to verify the possibility and feasibility of connecting and routing of utilities as shown. Failure to do so, will not relieve the contractor for costs incurred to make the necessary connections or routing of utilities. Hand dig down to 36" to minimize damage to existing utilities.
4. Contractor shall employ and pay all costs associated with the location and surface marking of all existing onsite, private customer-owned subsurface utility lines. Location and markings to be completed prior to any excavation, trenching and demolition of site improvement.
5. Only teaching wall/learning wall casework is Owner-furnished, Owner-installed. All other casework is to be Contractor furnished and installed. At teaching wall/learning wall, all electrical rough-in, electrical wiring and electrical finish devices, structural backing and all coordination with District contractors including construction scheduling shall be contractor furnished and installed.
6. Teaching wall/learning wall markerboards are Owner-furnished, Owner installed.
7. Projection screens, projectors and projector mounts are Owner-furnished, Owner-installed.

#### SPECIFICATIONS

##### SPECIAL CONDITIONS

8. REVISE: Paragraph 4.  
TO READ: "4. the Work at **Alvarado Intermediate School** shall commence on the date set forth in the Notice to Proceed issued by or on behalf of the District; the contractor shall achieve Substantial completion within (473) **consecutive calendar** days and Final Completion within (493) **consecutive calendar** days after the commencement date for Work.

SECTION 01105 - Phasing Of The Work

9. ADD: A preliminary construction schedule is attached hereto and shall be utilized as the basis for the Contractor's requirement to provide a construction schedule per Article 7.3 of the General Conditions.

At Part 1, 1.06 Furniture and Equipment Relocation

10. REVISE:  
TO READ: Paragraph B.  
"B. Prior to beginning work in each phase, **Owner** shall relocate furniture, equipment, books and supplies...."

SECTION 01300 - Submittal

At Part 1, 1.2 Submittal Procedures

11. REVISE:  
TO READ: Paragraph E.  
"E. Schedule submittal to expedite the Project, and deliver to Ledesma & Meyer Construction Co., Inc. At 9441 Haven Avenue, Rancho Cucamonga, CA 91730."

SECTION 01500 - Construction Facilities

12. ADD: This section in its entirety. See attached section dated, April 6, 2011.

SECTION 01740 - Cleaning

13. ADD: This section in its entirety. See attached section dated, April 6, 2011.

SECTION 07513 - Built-Up Re-Roofing System

At Part 2, 2.02 Materials

14. ADD: "J. Sheathing Board: "Dens-Deck Prime", gypsum sheathing panel, manufactured by Georgia-Pacific Corporation, P.O. Box 105605, Atlanta, GA 90348 (800) 225-6119. Minimum 1/4 inch thick, 4 foot x 8 foot sheets."

DRAWINGS

**CIVIL:**

On SHEET C-1.2

15. REVISE: At Grading and Drainage Enlargement - Area A  
Per attached drawing AD3-C-1.2A and AD3-C1.2B , dated April 6, 2011.

On SHEET C-2.2

16. REVISE: At Site Construction Enlargement - Area A  
Per attached drawing AD3-C2.2A and AD3-C2.2B, dated April 6, 2011.

**ARCHITECTURAL:**

On SHEET A-0.1

17. REVISE: At Site Demolition Plan - Area A  
Per attached drawing AD3-A-0.1 , dated April 6, 2011.

On SHEET A-1.1

18. REVISE: At Detail 1, Typ. Walkway Canopy Fascia With Gutter  
Per attached drawing AD3-A3, dated April 6, 2011.

19. REVISE: At Detail 2, Typ. Walkway Canopy Fascia  
Per attached drawing AD3-A4, dated April 6, 2011.
20. REVISE: At Sheet A-2.1, Demolition Floor Plan - K1-A  
Key Note #2  
TO READ: "2. Fill in all existing abandoned floor registers/openings with concrete (2,500 psi min.) flush with (e) slab surfaces (typ.)"

**LANDSCAPE:**

On SHEET L-1.0

21. REVISE: At Irrigation Plan - Area A  
Per attached drawing AD3-L1.0 , dated April 6, 2011.

On SHEET L-2.0

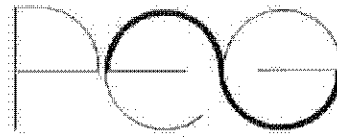
22. REVISE: At Planting Plan - Area A  
Per attached drawing AD3-L-2.0, dated April 6, 2011.

23. **See attached electrical addendum items by Pacific Engineers Group. (1 page total)**

END OF ADDENDUM NO. 3

  
Henry Woo Architects, Inc.





**ADDENDUM # 3**

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**ALVARADO INTERMEDIATE SCHOOL**

THE FOLLOWING CORRECTIONS, MODIFICATIONS OR ADDITIONS SHALL BE INCLUDED IN THE DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND SHALL BE TAKEN INTO CONSIDERATION BY CONTRACTORS IN SUBMITTING BIDS ON THE ABOVE NAMED PROJECT:

**SHEET E-5.1:**

1. For Classroom Building C1 (4-ACU's), Building C3 (4-ACU's) and Building C4 (4-ACU's):

There are existing power and EMS conduits and wires to the wall mounted air-conditioning units for the classrooms. These conduits are currently exposed under the canopies. Disconnect these exposed conduits and rewire all the air-conditioning units using conduits and wires with the same size as the existing. Provide new power and control conduits in the attic space inside the building. Penetrate the exterior wall of the building at each air-conditioning unit to re-feed all the air-conditioning units.

**SHEET E-5.2:**

1. For Classroom Building K1A (1-CCTV camera):

There are existing CCTV conduits and wires to the CCTV cameras. These conduits are currently exposed under the canopies. Pull back at the existing pull box the existing CCTV wires. Disconnect these exposed conduits and re-pull in the existing wires to the new conduit. Provide new conduits in the attic space inside the building. Penetrate the exterior wall of the building at each camera location and re-feed the cameras.

**SHEET E-5.3:**

1. For Classroom Building C5 (4-ACU's) and Building C6 (4-ACU's):

There are existing power and EMS conduits and wires to the wall mounted air-conditioning units for the classrooms. These conduits are currently exposed under the canopies. Disconnect these exposed conduits and rewire all the air-conditioning units using conduits and wires with the same size as the existing. Provide new power and control conduits in the attic space inside the building. Penetrate the exterior wall of the building at each air-conditioning unit to re-feed all the air-conditioning units.

**SHEET AD3-E2.3 (Reference Drawing E-2.3):**

1. Demolish existing recessed fluorescent fixtures at the canopy between Buildings AL & MP and provide new recessed-mounted fixtures. Refer to attached Addendum 3 Drawing AD3-E2.3.

**END OF ADDENDUM**

SECTION 01500

CONSTRUCTION FACILITIES

1. PART 1 GENERAL

A. SECTION INCLUDES

1. Furnishing and installing required temporary facilities as indicated or specified as required for proper performance of the contract.

B. REGULATORY REQUIREMENTS

1. Comply with governing regulations and utility company regulations and recommendations.
2. Comply with pollution and environmental protection regulations for use of water and energy, for discharge of wastes and storm drainage from Project Site, and for control of dust, air pollution and noise.
3. Temporary construction shall conform to requirements of State, County, and Local authorities and underwriters which pertain to operation, health, safety and fire hazard. Contractor shall furnish and install items necessary for conformance with such requirements, whether or not called for under the separate divisions of these specifications.

C. TEMPORARY SANITARY FACILITIES

1. The Contractor will provide and maintain temporary chemical type toilet facilities, including wash stations, throughout the duration of the project. All temporary toilets shall be properly serviced twice weekly and shall meet all applicable governmental codes at all times.
2. In addition to the temporary sanitary facilities required for the workmen, the Contractor shall provide one (1) portable toilet and wash station for use by the Construction Manager and Project Inspector throughout the duration of the project. All costs shall be included within the Contractor's bid.
3. Existing facilities shall not be used at any time.

D. FENCES AND BARRICADES

1. Before start of Work on the project site, the Contractor shall furnish, install, and continually maintain throughout the duration of the project a 6 foot high temporary chain link fence with locked entrance gates to enclose the entire perimeter of the work as it progresses. Fence and gates shall be covered in green privacy fabric. Fence and gates must be continually maintained to prohibit children from gaining access to the site and also deter persons of all ages from entering the site after hours. If fence or gates are damaged or vandalized in any way, the Contractor must repair or replace applicable sections with 24 hours or less.
2. The Contractor requiring same shall construct and maintain planking, barricades, lights, and warning signs as required by Local authorities and State safety ordinances and as necessary for the protection of the public.

E. TEMPORARY TELEPHONE / DATA SERVICE

1. The Contractor shall furnish and install the following temporary telephone services to the Construction Manager / Project Inspector temporary construction office trailer as soon as Construction Manager / Project Inspector's temporary office trailer has been set:
  - a. Three (3) standard telephone lines
  - b. One (1) dedicated telephone line for security system
  - c. Two (2) separate high speed DSL-type computer data lines.

2. The aforementioned telephone and data lines are for the exclusive use of the Construction Manager / Project Inspector field staff. The Contractor shall also pay for all monthly usage of said aforementioned lines including the cost to set up and take down said systems.
3. The Contractor's foreman and/or superintendent must carry an operable cell phone with them while on the site at all times for purposes of communication with the Construction Manager's staff, Project Inspector and his home office.

**F. CONSTRUCTION EQUIPMENT**

1. The Contractor shall erect, equip and maintain construction equipment in strict accordance with applicable statutes, laws, ordinances and regulations of authority having jurisdiction.
2. The Contractor shall provide, maintain and move upon completion of the Work all temporary rigging, scaffolding, hoisting equipment, rubbish chutes, ramps, stairs, runways, platforms, ladders, railings, and other temporary construction as required for all work hereunder.

**G. STORAGE**

1. Operations of the Contractor, including storage of materials, shall be confined to areas approved by Construction Manager. The Contractor shall be liable for damage caused by him during such use of property of the District or other parties. The Contractor shall save the District and Construction Manager along with their respective officers, employees and agents, and the Architect and his employees, free and harmless from liability of any nature or kind arising from any use, trespass, or damage occasioned by his operations on premises of third persons. Storage facilities shall provide protection of projects from excessive cold, heat, moisture, humidity, or physical abuse as specified in the respective sections of the projects stored. The Contractor shall provide security for same.

**H. TEMPORARY JOB OFFICE**

1. The Contractor shall provide, pay for, and maintain in good condition throughout the duration of the project, on the site an electrically heated and air conditioned temporary job office trailer (minimum size 10' wide x 40' long) with high security grills on windows and at least two (2) high security type lockable exterior doors with stairs and railings. Office trailer shall be divided into three (3) rooms including an office on each end of the trailer and a meeting room in the center. Said office trailer shall be for the Construction Manager / Project Inspector's use only. Should any other Contractor require office space, the Contractor requiring office space shall provide same.
2. The Contractor shall furnish the Construction Manager / Project Inspector's office trailer with the following:
  - a. Scanner/printer/copy machine including maintenance.
  - b. Two (2) office desks, each with office chairs, four (4) each 4-drawer file cabinets, two (2) 8' conference tables with twelve (12) chairs.
  - c. Provide and pay for refrigerated bottle water service.

**I. TEMPORARY ELECTRICAL**

1. The Contractor shall furnish, install, maintain, relocate as required, and eventually remove in portions when directed by the Construction Manager a complete and operable code-approved temporary power system (including paying for all temporary power usage throughout the construction contract).

**J. TEMPORARY LIGHTING**

1. The Contractor shall be responsible to provide and maintain all temporary lighting as required to safely access and perform their work.

Alvarado I.S. Partial Modernization  
CONSTRUCTION FACILITIES  
01500 - 2  
(Addendum 3)

APR 06 2011

- K. TEMPORARY HEAT**
1. Temporary heat will be supplied and maintained by the Contractor requiring same.
  2. Do not use permanent equipment for temporary heating purposes unless specifically noted otherwise in the contract documents.
- L. TEMPORARY VENTILATION**
1. The Contractor shall ventilate enclosed areas to assist cure of materials, dissipate humidity, and to prevent accumulation of dust, fumes, vapors, or gases as the above may be generated by them.
- M. BARRIERS**
1. Provide barriers to prevent unauthorized entry to construction areas and to protect existing facilities and adjacent properties from damage from construction barriers.
  2. Provide barricades and covered walkways required by governing authorities for public rights-of-way and for public access to existing buildings.
  3. Provide protection for plant life and trees designated to remain and for soft and hardscape areas adjacent to work, replace damaged materials as directed by the Architect.
  4. Protect non-owned vehicular traffic, stored materials, site and structures from damage.
  5. Construction workers shall not interact or communicate with students or staff except in emergency or safety related situations. A sign is to be posted to this effect at entry.
- N. POLLUTION CONTROL**
1. Provide methods, means and facilities to prevent contamination of soil, water, and atmosphere from discharge of noxious, toxic substances, pollutants produced by construction operations.
- O. EXTERIOR ENCLOSURES**
1. Provide temporary weather-tight closure of exterior openings to accommodate acceptable working conditions and protection for materials, to allow for temporary heating and maintenance or required ambient temperatures identified in individual specification sections, and to prevent entry of unauthorized persons. Provide access doors with self-closing hardware and locks.
- P. ACCESS ROADS**
1. Provide and maintain access to fire hydrants, free of obstructions.
  2. Existing on-site roads may be used for construction traffic.
- Q. PROGRESS CLEANING**
1. Maintain areas free to waste materials, debris and rubbish. Maintain site in a clean and orderly condition.
  2. Contractor shall remove debris and rubbish from pipe chases, plenums, attics, crawl spaces, and other closed or remote spaces, prior to the space being enclosed.
  3. Contractor shall broom and vacuum clean interior areas prior to start of surface finishing and continue cleaning to eliminate dust.
  4. Remove waste materials, debris, and rubbish from site periodically and legally dispose off-site.

END OF SECTION

Alvarado I.S. Partial Modernization  
CONSTRUCTION FACILITIES  
01500 - 3  
(Addendum 3)

APR 06 2011

SECTION 01740

CLEANING

1. PART 1 GENERAL
  - A. SECTION INCLUDES
    1. Cleanup during construction of the building before acceptance by the District. Contractor will be responsible for cleanup of their work and legal disposal and haul away of their debris offsite.
  - B. RELATED DOCUMENTS
    1. The Conditions of the Contract and other sections of the General Conditions apply to this section as fully as if repeated herein.
2. PART 2 PRODUCTS
  - A. MATERIALS
    1. Use cleaning materials which will not create hazards to health or property and which will not damage materials. Use cleaning materials and methods recommended by the manufacturer of the surface material to be cleaned. Use cleaning material only on surfaces recommended by the cleaning material manufacturer.
3. PART 3 EXECUTION
  - A. CLEANUP DURING CONSTRUCTION
    1. It is required that the entire project be kept in a neat and orderly condition, and the Construction Manager may, at any time during construction, order a general cleanup of the site as a part of the work.
    2. Dispose of waste, trash, and debris in a safe, acceptable manner, in accordance with applicable laws and ordinances and as prescribed by authorities having jurisdiction. Bury no such waste materials and debris on the site. Burning of trash and debris on the site will not be permitted.
    3. Location of dump for trash and debris and length of haul is the Contractor's responsibility.
    4. If the Contractor has not substantially commenced their clean-up operations as required by the Construction Manager within 24 hours after receiving a notice from the Construction Manager, the District may without further notice to Contractor, commence said cleanup at the Contractor's expense. All costs incurred as a result of the District's cleanup on behalf of the Contract shall be deducted from the Contractor's contract price by unilateral change order. Although it is understood by all parties that the District has the right to clean up the debris of the Contractor after giving said Contractor 24 hour notice, it is NOT the District's obligation to do so. The sole responsibility and liability of debris on the site remains that of the Contractor generating same.
    5. Five percent (5%) of the Contractor's bid will automatically be held in abeyance within their "contract schedule of values" for cleanup. If in the Construction Manager Superintendent's opinion the Contractor is maintaining a clean project, a pro-rate share of this cleanup budget will be paid monthly to the Contractor in accordance with their approximate aggregate percentage of completion of the project. If the Contractor fails to heed written directives to clean up during the course of the project, the work will be done at the Contractor's expense and a unilateral deductive change order will be written against their contract with the District for all costs incurred by the District for the cleanup. **THE ESTABLISHMENT OF THIS FIVE PERCENT (5%) BUDGET FOR CLEANUP IN NO WAY LIMITS THE COST TO THE CONTRACTOR FOR MAINTAINING A CLEAN PROJECT.** In the event that the Contractor's failure to maintain a clean

project causes or contributes to an accident or property damage, neither the District, Construction Manager, or any of their respective employees shall be held responsible or liable for damages because of their failure to clean up the Contractor's debris, materials, tools or equipment.

**END OF SECTION**

**Alvarado I.S. Partial Modernization  
CLEANING  
01740 - 2  
(Addendum 3)**

**APR 06 2011**

BLDG. AL

D.S

D.S

PROVIDE (N)  
CONTROL  
JOINT (TYP.)

LIGHTING FIXTURE  
(SEE ELECTRICAL)

Ø OF LIGHTING  
FIXTURE

EQ.  
TYP.

D.S

(E) PLASTER  
TO REMAIN

REMOVE (E) RECESSED LIGHTING FIXTURE.  
PATCH AND REPAIR (E) SOFFIT FINISH  
TO MATCH (E)

EQ.  
TYP.

(N) LIGHTING  
FIXTURE (TYP.)  
(SEE ELECTRICAL)

TYP. AD3-A2

(N) GUTTER

D.S



NORTH



BLDG. MP

**PARTIAL WALKWAY CANOPY ROOF PLAN**

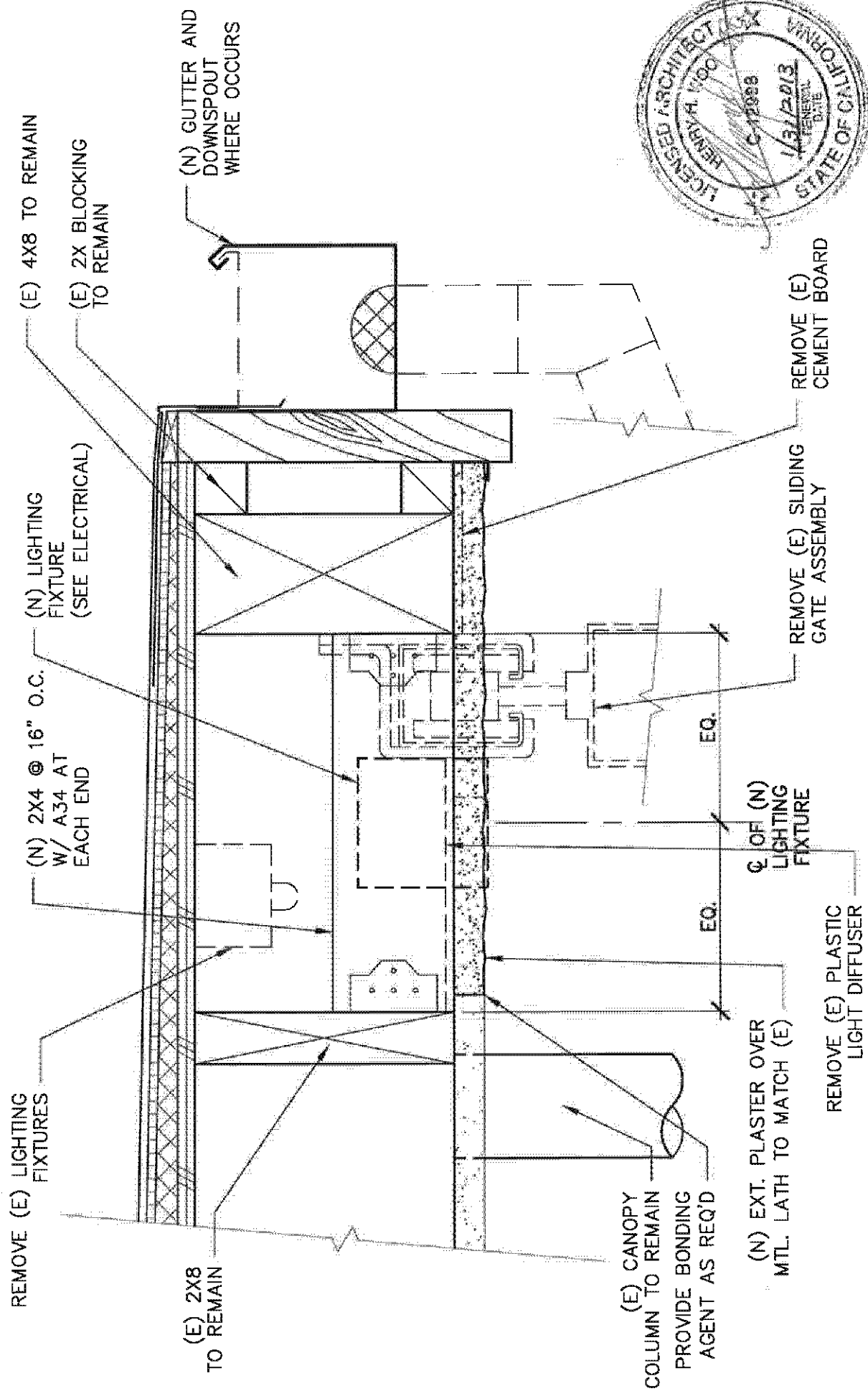
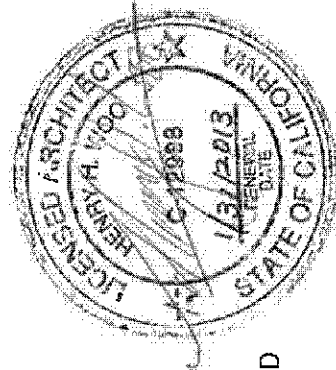
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PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

**AD3-A1**

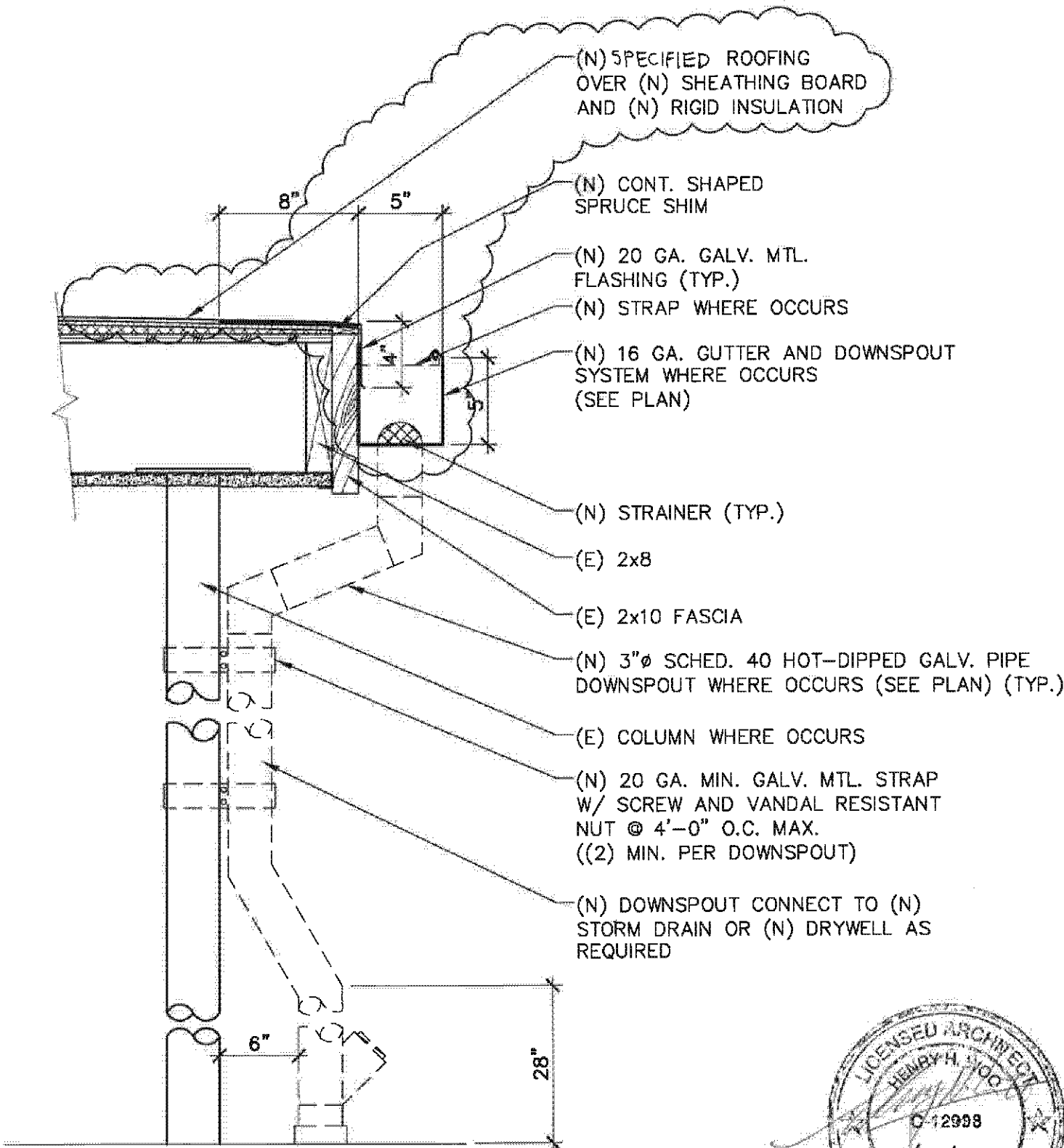
DATE: 4/6/2011



SCALE: 3" = 1'-0"

**TYP. PATCHING AT CANOPY**

PROJECT TITLE: ALVARADO I.S. PARTIAL MODERNIZATION	FILE NO.: 19-92	DATE: 4/6/11
DSA NO.: 03-112358 PROJECT NO.: 108RSD13 HENRY WOO ARCHITECTS, INC.		
		<b>AD3-A2</b>



(N) SPECIFIED ROOFING  
OVER (N) SHEATHING BOARD  
AND (N) RIGID INSULATION

(N) CONT. SHAPED  
SPRUCE SHIM

(N) 20 GA. GALV. MTL.  
FLASHING (TYP.)

(N) STRAP WHERE OCCURS

(N) 16 GA. GUTTER AND DOWNSPOUT  
SYSTEM WHERE OCCURS  
(SEE PLAN)

(N) STRAINER (TYP.)

(E) 2x8

(E) 2x10 FASCIA

(N) 3"Ø SCHED. 40 HOT-DIPPED GALV. PIPE  
DOWNSPOUT WHERE OCCURS (SEE PLAN) (TYP.)

(E) COLUMN WHERE OCCURS

(N) 20 GA. MIN. GALV. MTL. STRAP  
W/ SCREW AND VANDAL RESISTANT  
NUT @ 4'-0" O.C. MAX.  
((2) MIN. PER DOWNSPOUT)

(N) DOWNSPOUT CONNECT TO (N)  
STORM DRAIN OR (N) DRYWELL AS  
REQUIRED



**TYP. WALKWAY CANOPY FASCIA W/ GUTTER**

(REF. 1/A-1.1)

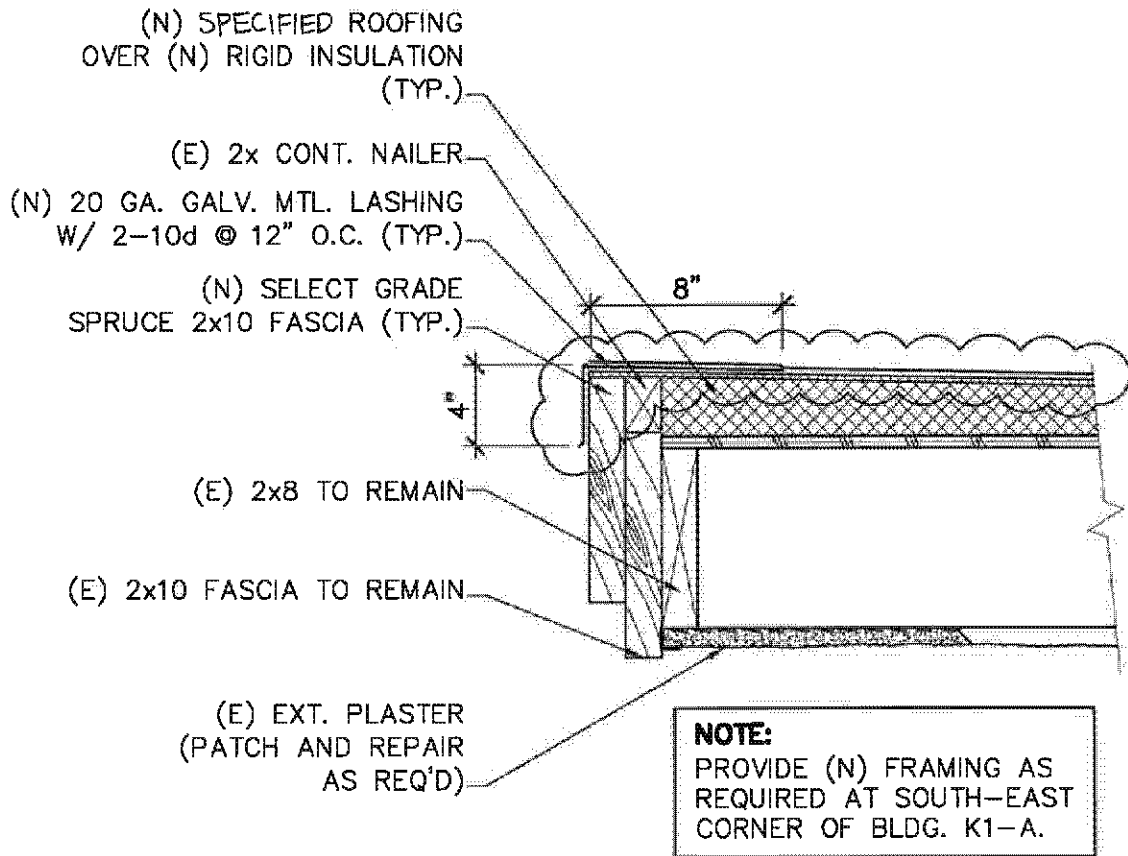
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ALVARADO I.S. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

**AD3-A3**

DATE: 4/6/2011



**TYP. WALKWAY CANOPY FASCIA**

(REF. 2/A-1.1)

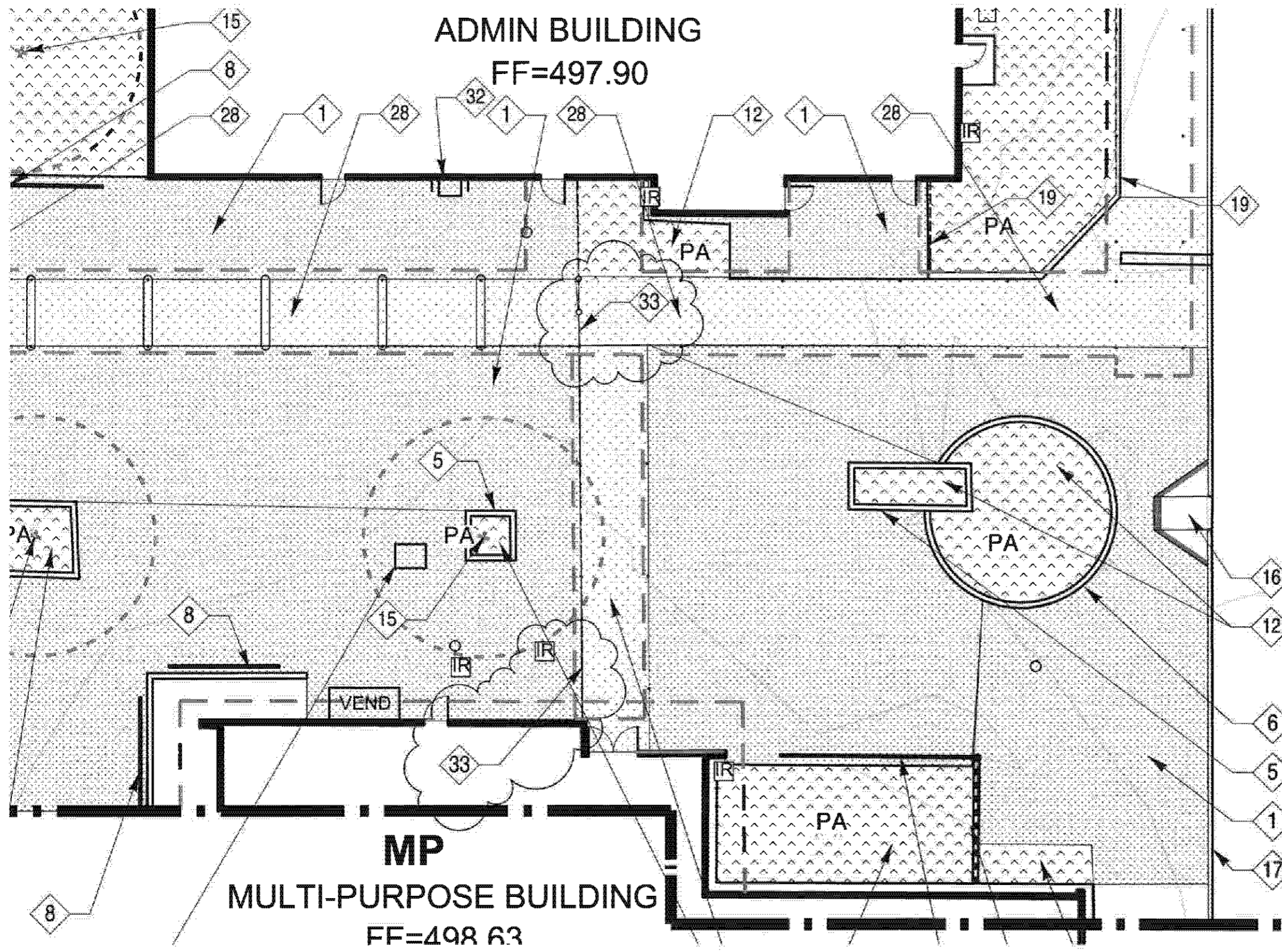
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PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

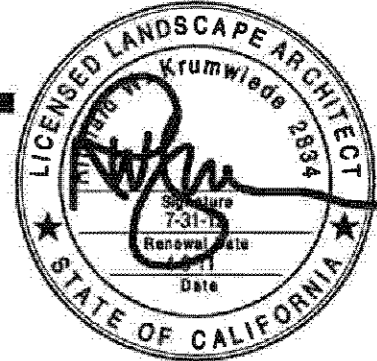
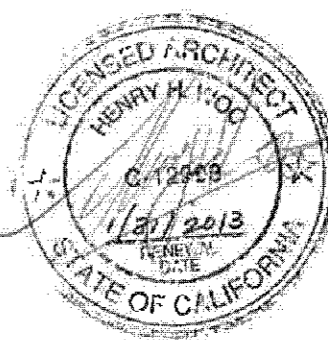
DSA NO.: 03-112358    FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

**AD3-A4**

DATE: 4/6/2011



33 REMOVE EXISTING T. STEEL FENCE, SLIDING GATE AND TRACK. MODIFY CEILING OF WALKWAY COVER PER ARCHITECTURAL PLANS.



PARTIAL DEMOLITION PLAN

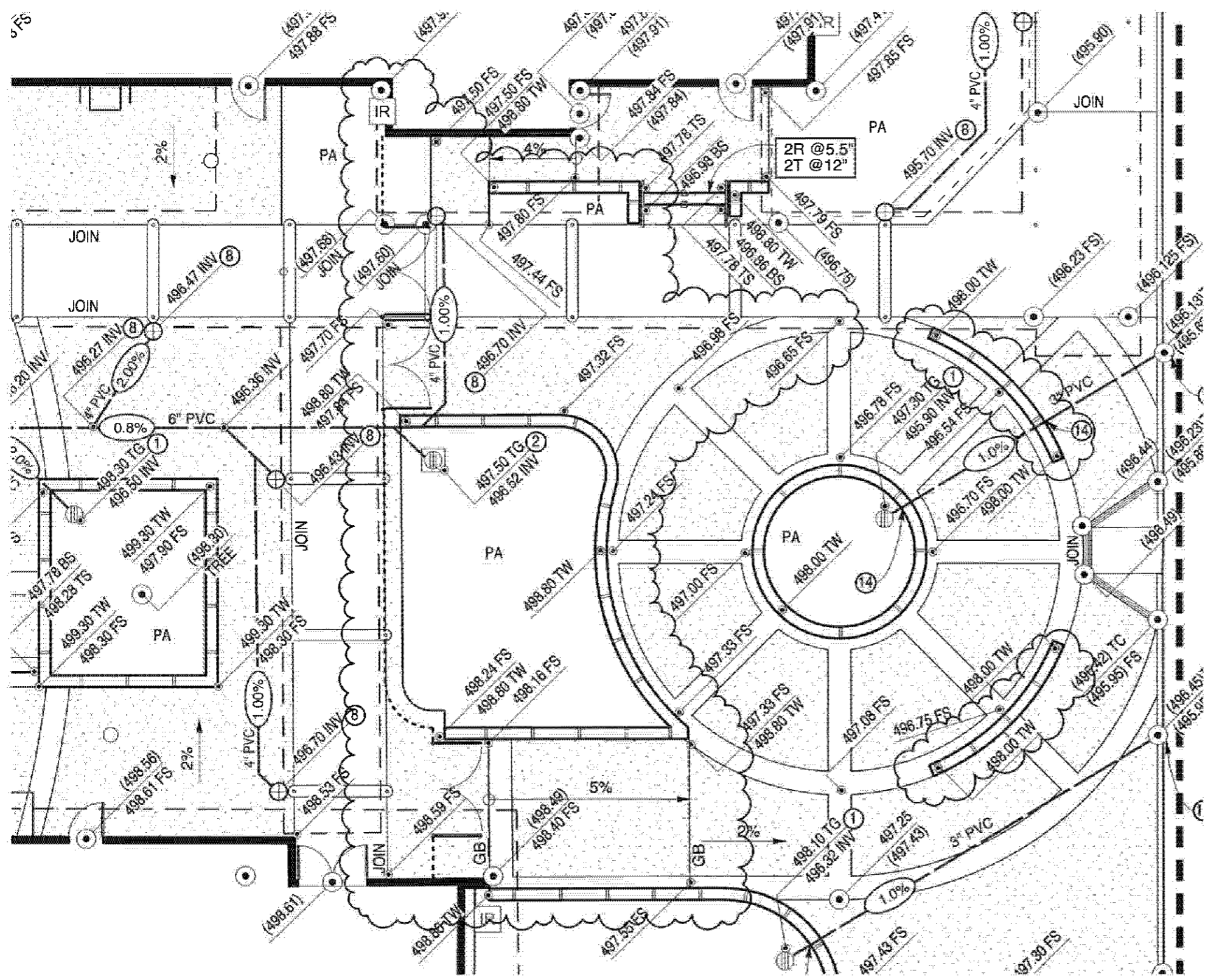
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PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

AD3-A-0.1

4/6/11



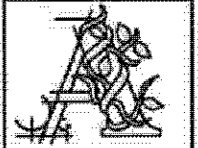
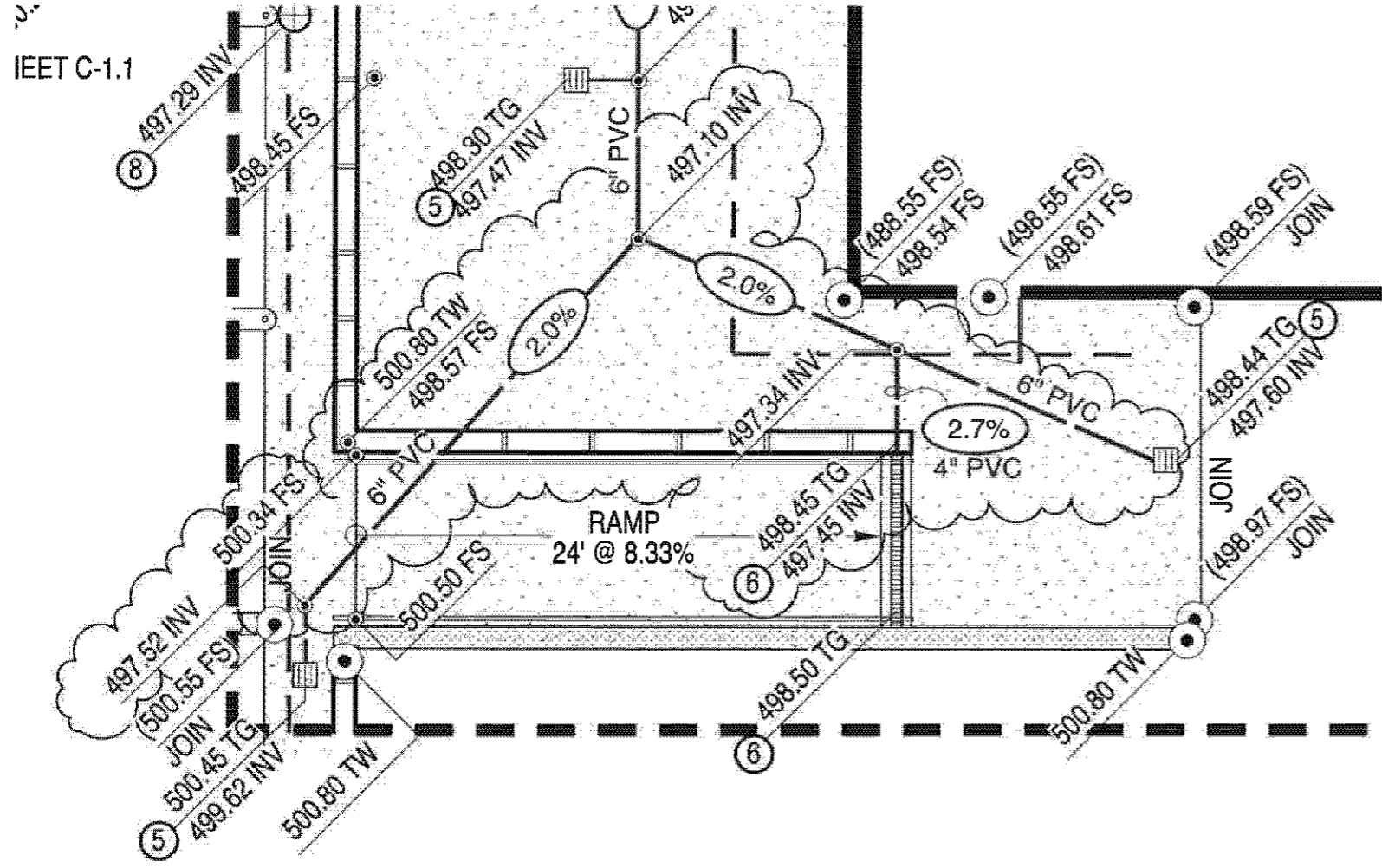
**PARTIAL GRADING ENLARGEMENT PLAN**

SCALE: N.T.S.

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

**AD3-C-1.2A** 4/6/11



**ARCHTERRA**  
DESIGN GROUP

LANDSCAPE  
ARCHITECTURE  
SITE PLANNING  
10821-A Trademark Street  
Rancho Cucamonga, CA 91730  
(909) 464-2800  
Fax: (909) 464-2802



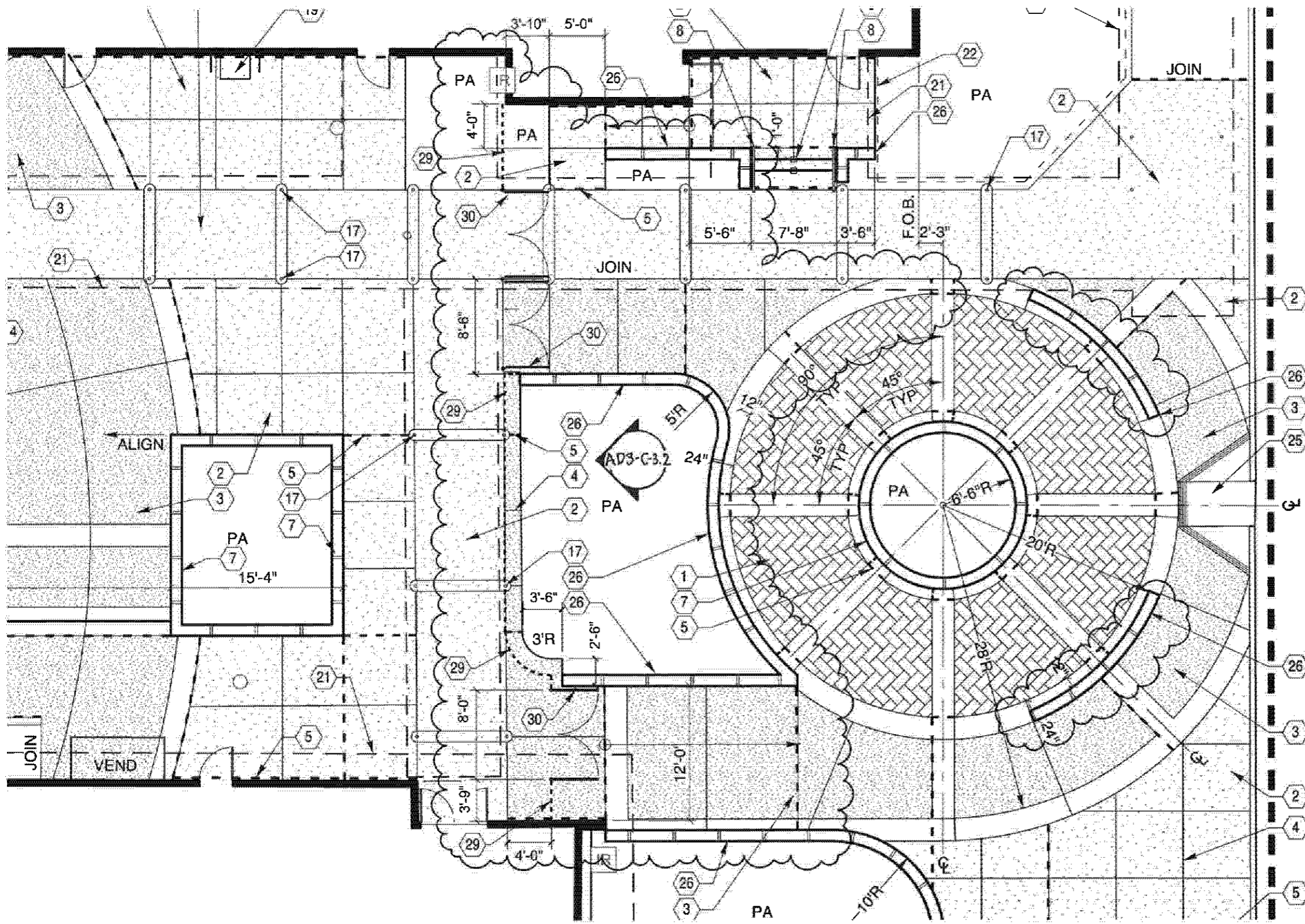
PARTIAL GRADING ENLARGEMENT PLAN

SCALE: N.T.S.

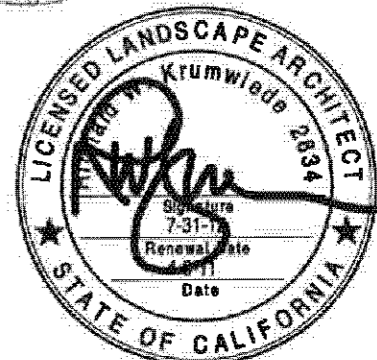
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PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

AD3-C-1.2B 4/6/11



- 29 INSTALL T. STEEL FENCING. SEE DETAIL AD3-C-3.0
- 30 INSTALL DOUBLE 4'-0" WIDE T. STEEL GATES. SEE DETAIL AD3-C-3.1



**ARCHITERRA**  
DESIGN GROUP  
LANDSCAPE  
ARCHITECTURE  
SITE PLANNING

10021-A Trademark Blvd.  
Menlo Park, CA 94025  
Tel: (650) 484-2800  
Fax: (650) 484-2802

Robert Krumwiede  
L.S.L.A. # 2894  
L.S.L.A. # 11312  
7/31/11  
7/31/11

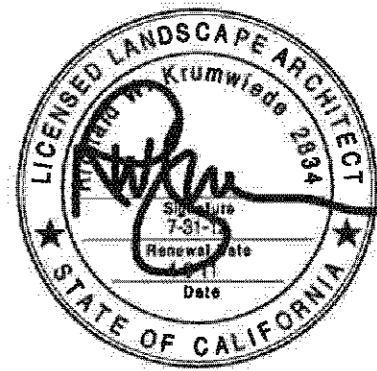
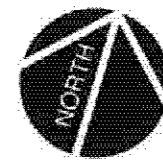
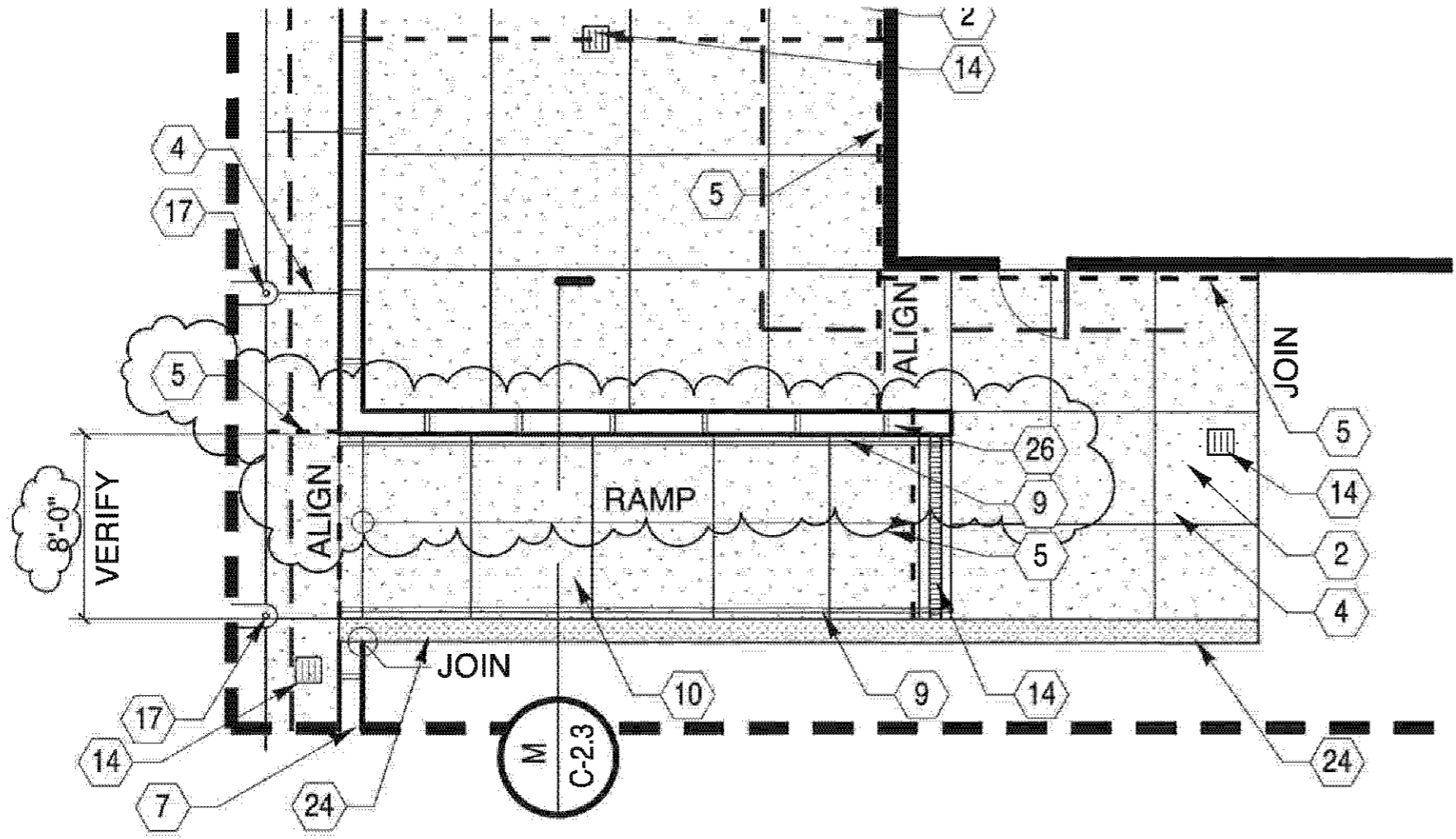
PARTIAL CONSTRUCTION ENLARGEMENT PLAN

SCALE: N.T.S.

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

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HENRY WOO ARCHITECTS, INC.

AD3-C-2.2A 4/6/11



**ARCHTERRA**  
DESIGN GROUP  
LANDSCAPE  
ARCHITECTURE  
SITE PLANNING  
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Expires 12/31/16

PARTIAL CONSTRUCTION ENLARGEMENT PLAN

SCALE: N.T.S.

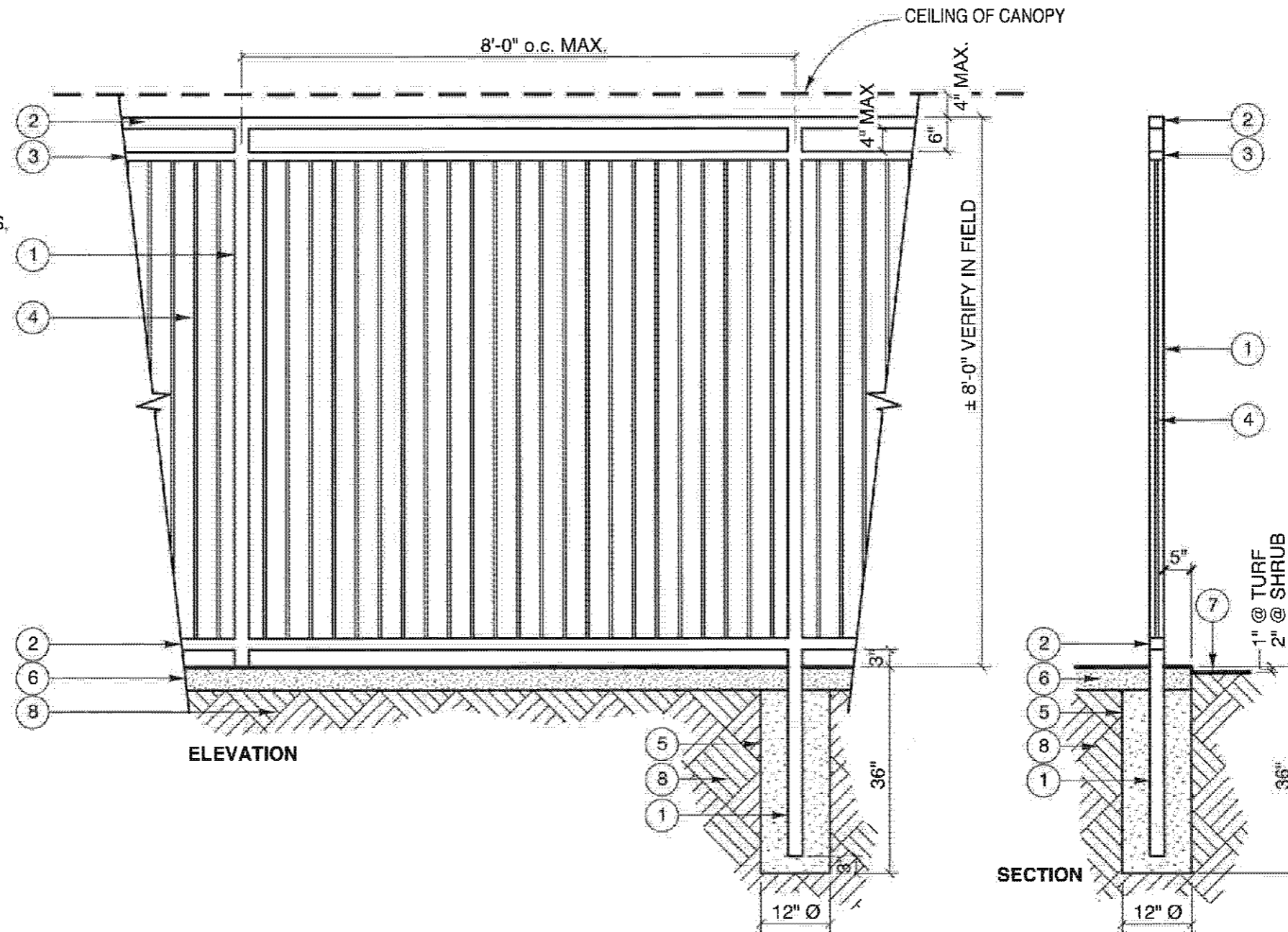
PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

AD3-C-2.2B 4/6/11

**LEGEND:**

- ① 2 1/2" SQ. x 11 GA. TUBULAR STEEL FENCE POST @ 8'-0" o.c. MAX.
- ② 2 1/2" x 2 1/2" x 11 GA. TUBULAR STEEL TOP AND BOTTOM RAILS.
- ③ 2 1/2" x 1 1/2" x 11 GA. TUBULAR STEEL INTERMEDIATE RAIL.
- ④ 5/8" SQ. SOLID STEEL PICKETS @ 4" o.c. MAX.
- ⑤ CONCRETE FOOTING @ FENCE POST.
- ⑥ ADJACENT CONCRETE PAVING PER PLAN.
- ⑦ FINISH GRADE.
- ⑧ 90% COMPACTED SUBGRADE.



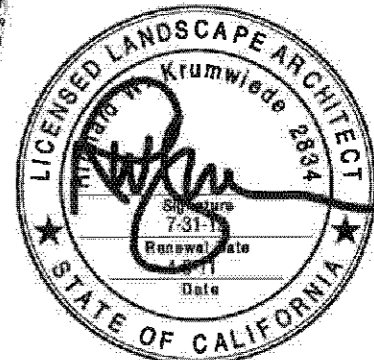
**TYPICAL METAL CONSTRUCTION NOTES:**

- A. ALL CONNECTIONS TO BE CONTINUOUS WELDED.
- B. REMOVE ALL SLAG & SPLATTER, AND GRIND ALL WELDS SMOOTH.
- C. ALL TUBING TO BE CAPPED AND WELDED CLOSED.
- D. UNLESS OTHERWISE NOTED, PAINT ALL TUBULAR STEEL SHALL BE HOT DIPPED GALVANIZED.
- E. SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.



**8'-0" HIGH TUBULAR STEEL FENCE**

SCALE: 1/2" = 1'-0"



PARTIAL PLANTING PLAN

SCALE: N.T.S.

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

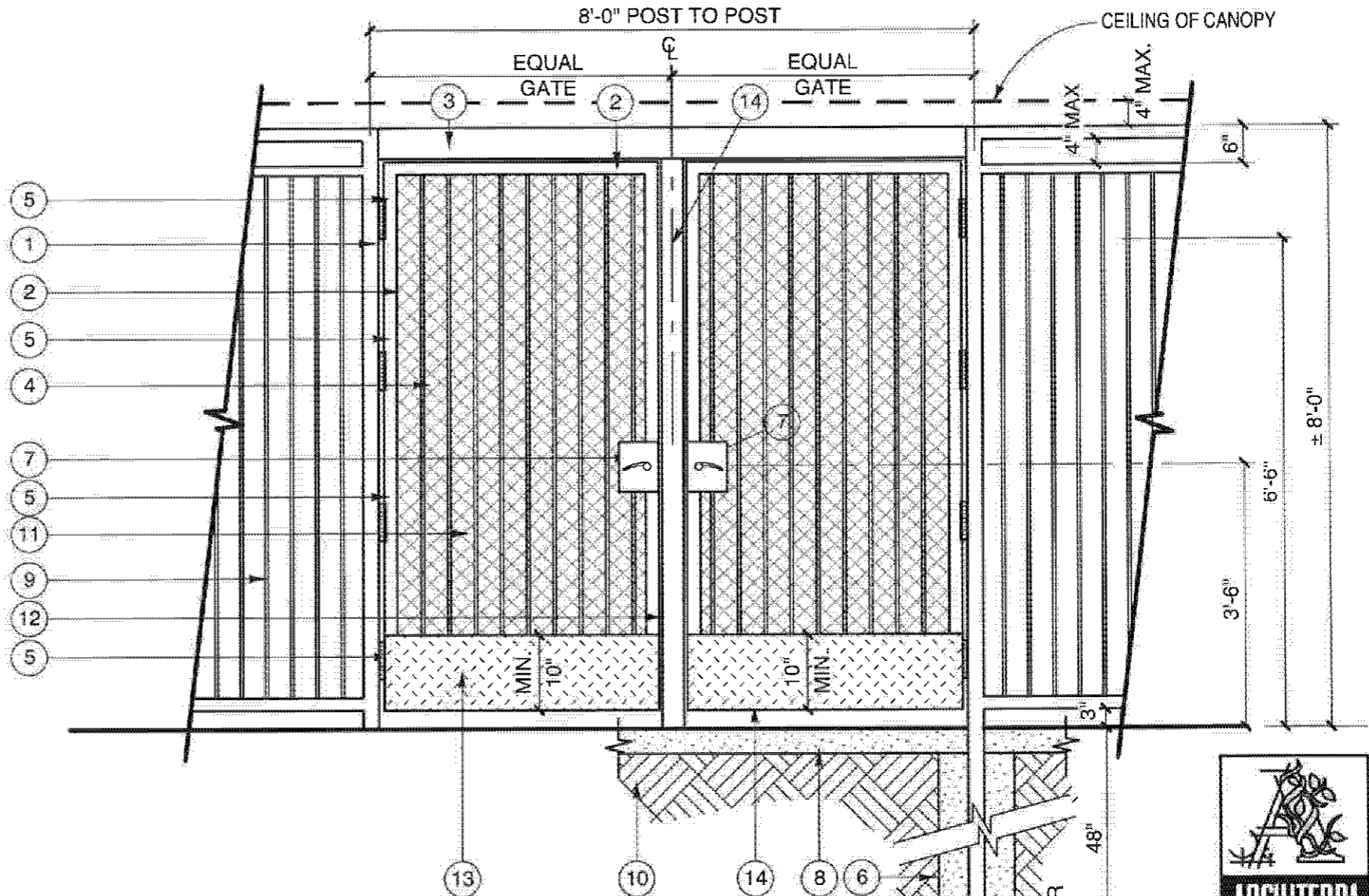
DSA NO.: 03-112358 FILE NO.: 19-92  
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HENRY WOO ARCHITECTS, INC.

AD3-C-3.0

4/6/11

**LEGEND:**

- ① 2 1/2" SQ. x 11 GA. TUBULAR STEEL GATE POST.
- ② 2 1/2" x 2 1/2" x 11 GA. TUBULAR STEEL GATE FRAME.
- ③ 2 1/2" x 5" x 11 GA. TUBULAR STEEL HEAD POST. WELD TO POSTS.
- ④ 5/8" SQ. SOLID STEEL PICKETS @ 4" o.c. MAX.
- ⑤ HINGES- HEAVY DUTY TYPE. (4) PER GATE. ALL S.S. BALL-BEARING HINGE W/ VANDAL RESISTANT SCREWS. (STANLEY MODEL # F8D109 OR ACCEPTED EQUAL)
- ⑥ CONCRETE FOOTING @ GATE POST.
- ⑦ MORTISE LOCK & STRIKE PLATE PER APPROVED DISTRICT STANDARDS. PROVIDE LEVER HANDLE ON BOTH SIDES OF EACH GATE. INSTALL PER MANUF.
- ⑧ ADJACENT CONCRETE PAVING PER PLAN.
- ⑨ ADJACENT TUBULAR STEEL FENCE PANEL. SEE **DETAIL A, SHEET AD3-C-3.0.**
- ⑩ 90% COMPACTED SUBGRADE.
- ⑪ PERFORATED STEEL PANEL TO BE 18 GA. 9/64" RD HOLES x 3/16" CENTERS, STAGGERED. AVAILABLE THROUGH MCNICHOLS CO., (800) 237-3820.
- ⑫ PROVIDE FOOT LATCH IN PAVING TO HOLD GATE IN OPEN POSITION.
- ⑬ 10" x 1/8" SOLID STEEL KICK PLATE WELDED TO GATE FRAME.
- ⑭ 2 1/2" SQ. REMOVABLE STEEL MULLION.



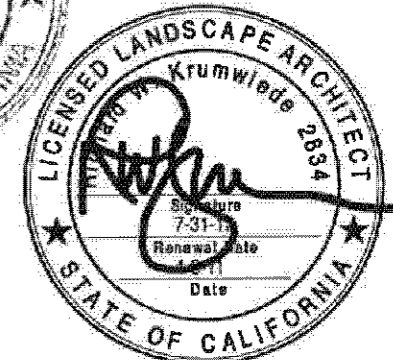
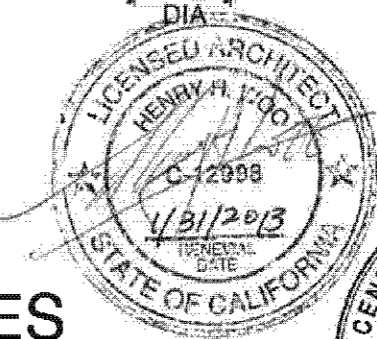
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- D. UNLESS OTHERWISE NOTED, PAINT ALL TUBULAR STEEL SHALL BE HOT DIPPED GALVANIZED.
- E. SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

**B**

**8'-0" WIDE DOUBLE SWING TUBULAR STEEL PEDESTRIAN GATES**

SCALE: 1/2" = 1'-0"



PARTIAL PLANTING PLAN

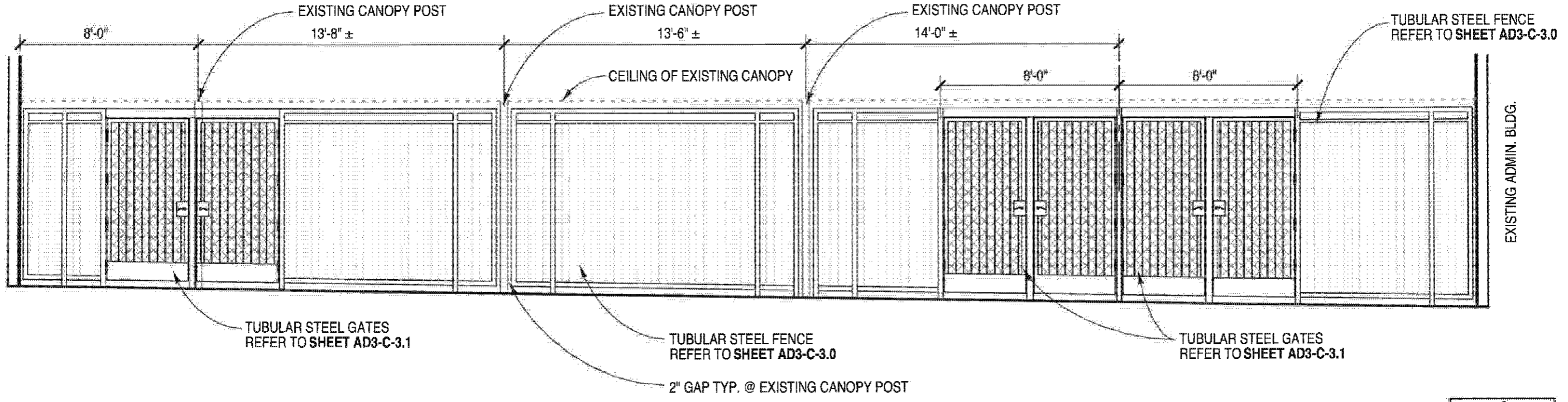
SCALE: N.T.S.

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AD3-C-3.1 4/6/11

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

EXISTING MULTI PURPOSE BUILDING

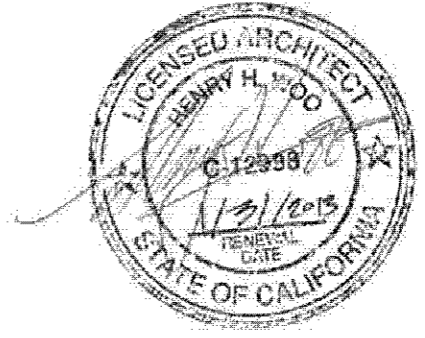


**ARCHITERRA**  
DESIGN GROUP

LANDSCAPE  
ARCHITECTURE  
SITE PLANNING

10221-A Trademark Street  
Berkeley, CA 94702  
(925) 464-2800  
Fax: (925) 464-2802

Richard Krumwiede  
CALIFORNIA LICENSE  
RECEIVED 7-31-13  
EXPIRES 7-31-14



EAST ELEVATION - NEW FENCE AND GATES

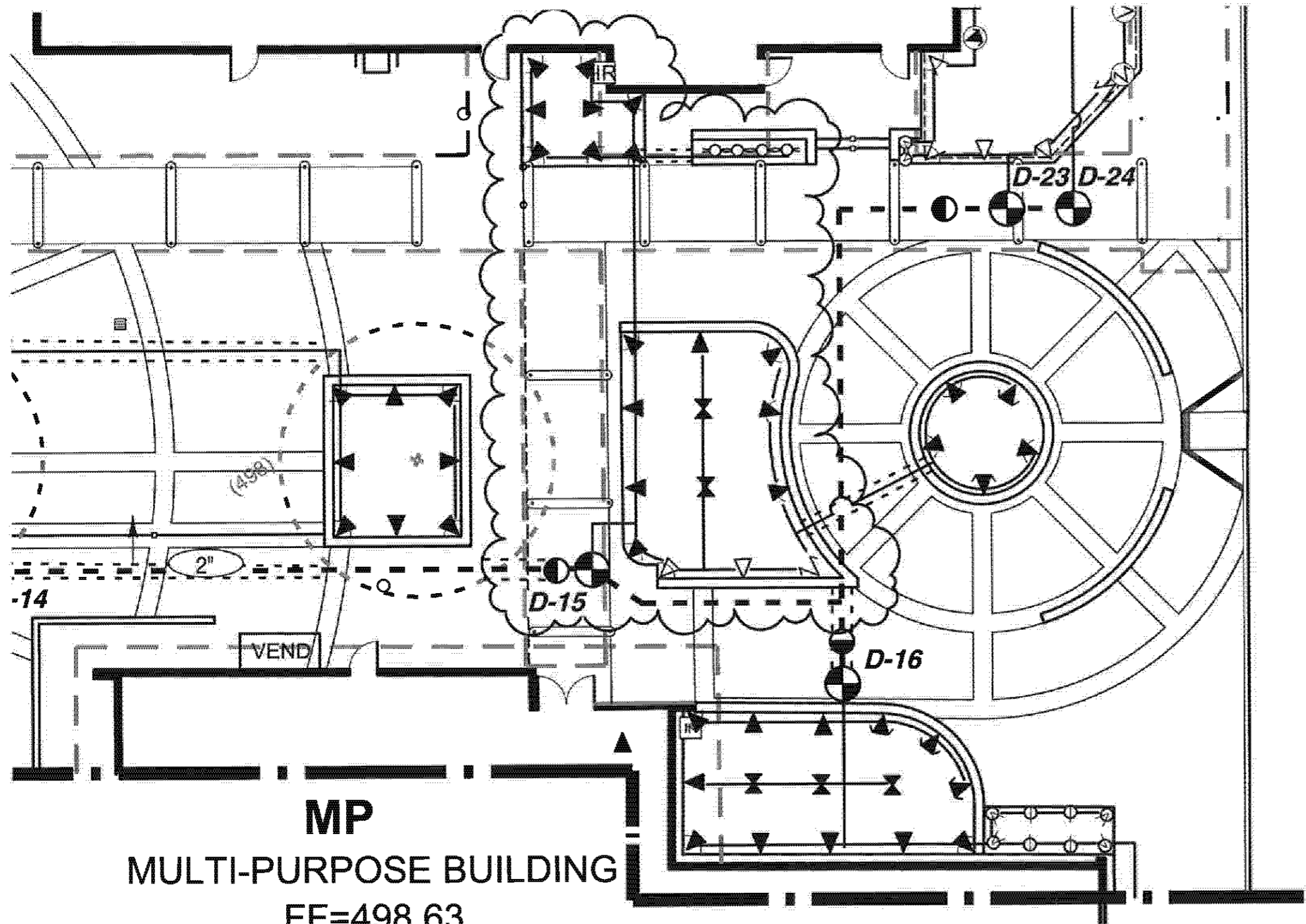
SCALE: N.T.S.

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

AD3-C-3.2

4/6/11



**MP**  
**MULTI-PURPOSE BUILDING**  
 FF=498.63



**PARTIAL IRRIGATION PLAN**

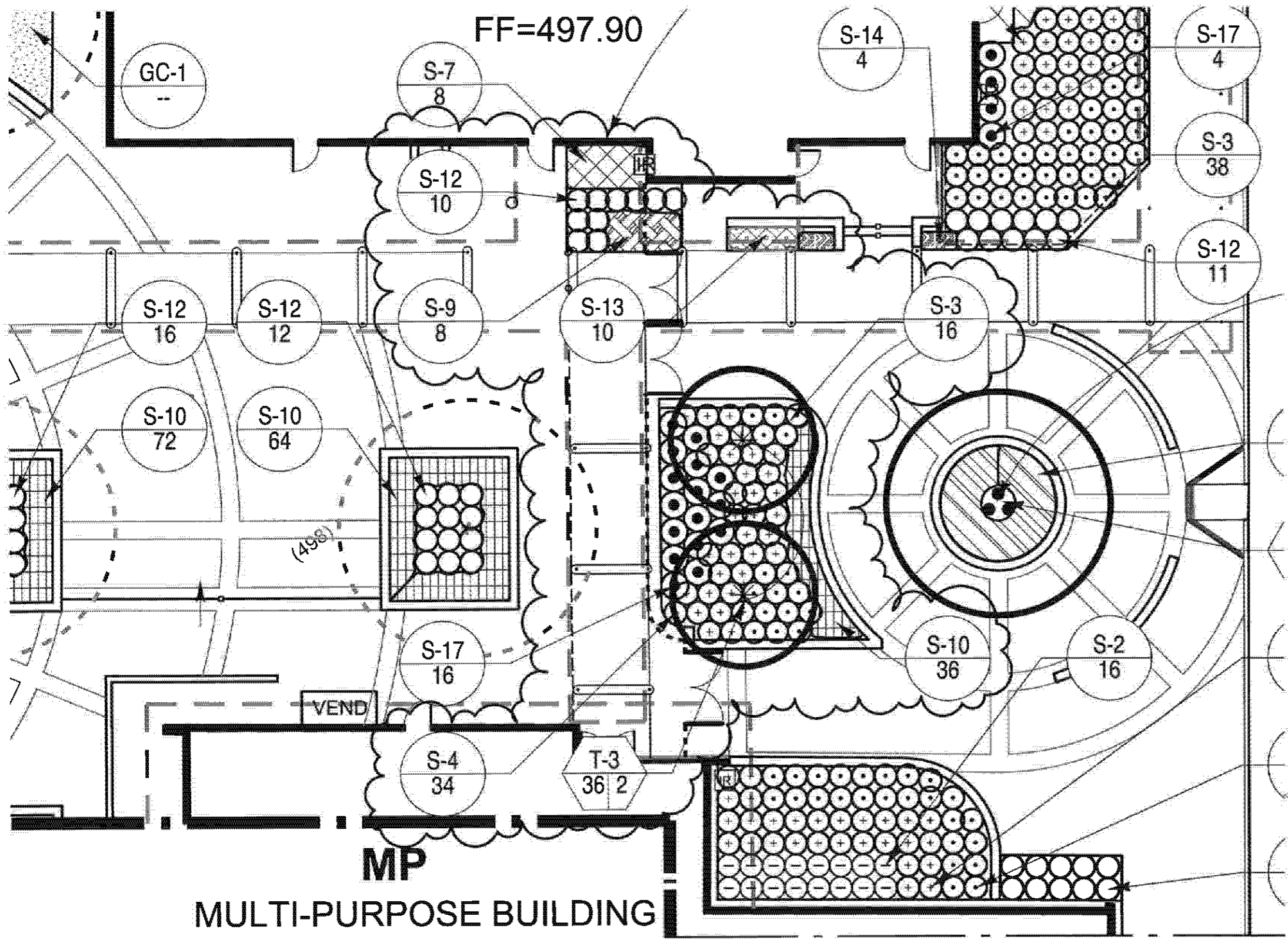
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PROJECT TITLE:  
 ALVARADO I.S. PARTIAL  
 MODERNIZATION

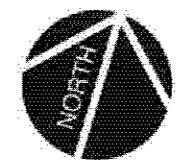
DSA NO.: 03-112358 FILE NO.: 19-92  
 PROJECT NO.: 108RSD13  
 HENRY WOO ARCHITECTS, INC.

**AD3-L-1.0**

4/6/11



**MP**  
MULTI-PURPOSE BUILDING



PARTIAL PLANTING PLAN

SCALE: N.T.S.

PROJECT TITLE:  
ALVARADO I.S. PARTIAL  
MODERNIZATION

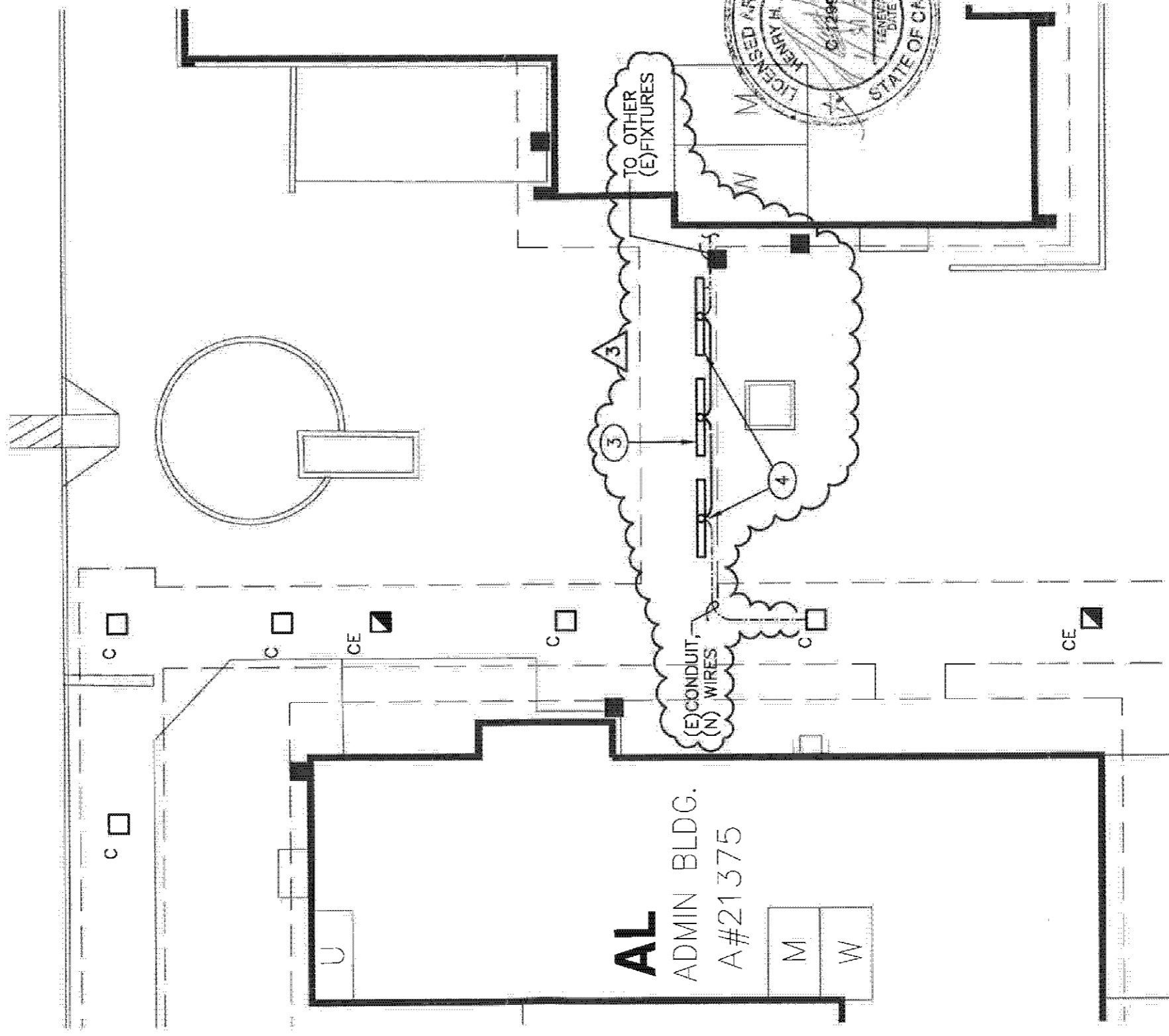
DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

AD3-L-2.0

4/6/11

KEYED NOTE

- 3 5' LENGTH RECESSED MOUNT LIGHTING FIXTURE, BECA#4403, WITH 1-35W5HO LAMP & ELECTRONIC BALLAST, APPROVED FOR WET LOCATION. TYPICAL TO 3.
- 4 DEMOLISH (E) LIGHTING FIXTURES. INTERCEPT (E) CONDUITS AND EXTEND TO (N) FIXTURES AS SHOWN. PROVIDE (N) WIRES AS SHOWN. PATCH (E) LIGHT OPENING PER ARCHITECTURAL DETAILS.



**AL**  
ADMIN BLDG.  
A#21375

M  
W

(E) CONDUIT,  
(N) WIRES

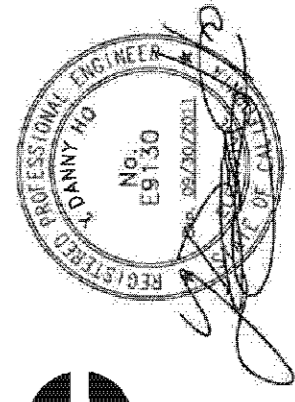
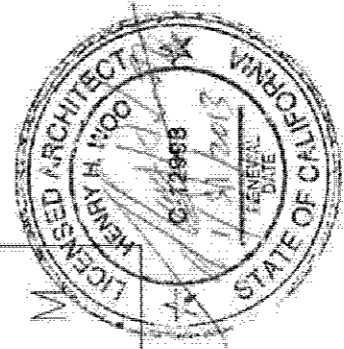
TO OTHER  
(E) FIXTURES



NORTH

**PARTIAL CANOPY LIGHTING PLAN**

SCALE: 1"=10'-0"



**PARTIAL CANOPY LIGHTING PLAN**

SCALE: 1"=10'-0"

PROJECT TITLE:  
ALVARADO IS. PARTIAL  
MODERNIZATION

DSA NO.: 03-112358 FILE NO.: 19-92  
PROJECT NO.: 108RSD13  
HENRY WOO ARCHITECTS, INC.

**AD3-E2.3**

DATE: 04/06/11

